



AECOM

Cuckney, Norton, Holbeck and Welbeck Neighbourhood Plan Design Code

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Quality information

Document name	Ref	Prepared for	Prepared by	Date	Reviewed by
CNHW Neighbourhood Plan Design Code	DR-10731	CNHW Neighbourhood Plan Monitoring Group	Elliot Joddrell, AECOM	20/5/2020	Becky Mather, AECOM

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Revision	Revision date	Details	Authorised	Name	Position
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02	25/02/2021	Final Draft reflecting comments received at engagement session held in 25/02/2021	LW	Lee Wood	Regional Director
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Lower Motor Yard
The School of Artisan Food
The Welbeck Bakehouse
Deliveries only
No parking

The School of Artisan Food , Welbeck

Foreword

Cuckney Norton Holbeck and Welbeck Neighbourhood Plan was adopted in 2017. A review of the plan commenced in November 2019 to ensure that the existing plan is current, with regard to the latest planning regulations, and emphasis on sustainability. This being the main focus of the Neighbourhood Plan Monitoring Group (NPMG), it was agreed that a design code, together with the Welbeck pattern book, would support the review of the CNHW Neighbourhood plan.

The main objective of this document is to establish principles so that new development is designed and planned with reference to the existing character and context of Cuckney, Norton, Holbeck and Welbeck villages, within the Neighbourhood Plan. It sets out a series of design codes related to residential development that reflect the range of dwellings in each settlement. The aspirations of the communities are to retain existing character and sense of place, ensuring that additional development feels part of the existing communities. The report also provides consideration of the high level constraints on some disused /underused buildings in Welbeck village where there are opportunities for sensitive conversion for commercial uses.

The design code illustrates how this can be achieved whilst delivering designs that are modern and sustainable for the future.



The Winnings Holiday Cottages, Welbeck

01 Introduction

Background

The parishes of Cuckney & Norton and Holbeck & Welbeck (CNHW) in Bassetlaw have established a Neighbourhood Plan Monitoring Group (NPMG) in order to shape and influence development within their area. The NPMG are currently in the process of reviewing their Draft Neighbourhood Plan. The CNHW Neighbourhood Plan area is unique as a result of having one large landowner - The Welbeck Estates Company Limited.

Locality is the national membership network for community organisations that bring local people together to produce Neighbourhood Plans. Through Locality's support programme, CNHW NPMG have appointed AECOM to prepare this Design Code document which will form part of the evidence base for their Neighbourhood Plan.

Objective

The purpose of this document is to provide an appreciation of the CNHW Neighbourhood Plan area's existing character in order to create a set of design codes which will apply to any new development. This will help to ensure that as new development comes forward, it responds to its context and supports and enhances the quality of the existing character in each of the villages.

Methodology

The process that was undertaken to produce this Design Code document is as follows:

On the 2nd February 2020, AECOM representatives attended an inception meeting and site walkover in the CNHW Neighbourhood Plan area with NPMG representatives in order to appreciate the local character, photograph the area and define the brief and direction for this Design Code document.

On the 20th May 2020, AECOM shared a draft Design Code document with the NPMG.

On the 25th February 2021, an engagement meeting was held with the NPMG to review the draft document and allow local opinion to be captured and represented in the final document.

After capturing the feedback from the engagement meeting, AECOM issued the final Design Code on 11th March 2021.

Study Area

The Neighbourhood Plan area for this document comprises of the two parish boundaries of Cuckney & Norton and Holbeck & Welbeck. In order to influence the design of future housing around the main settlement areas, this document will predominantly be focussed on the extent of the villages and their more immediate surroundings.

Document Structure

This Design Code document comprises of the following six sections:

01 Introduction

Outlining the background, purpose, process, study area and design code document structure.

02 Understanding Place

Provides an appreciation of existing physical influences and character of the study area.

03 Welbeck Pattern Book Review

Summarises the Welbeck Pattern Book, an existing document which provides design guidance for the area, highlighting the key points from the document that will guide the development of the design codes.

04 Analysis of building archetypes that offer opportunities for redevelopment

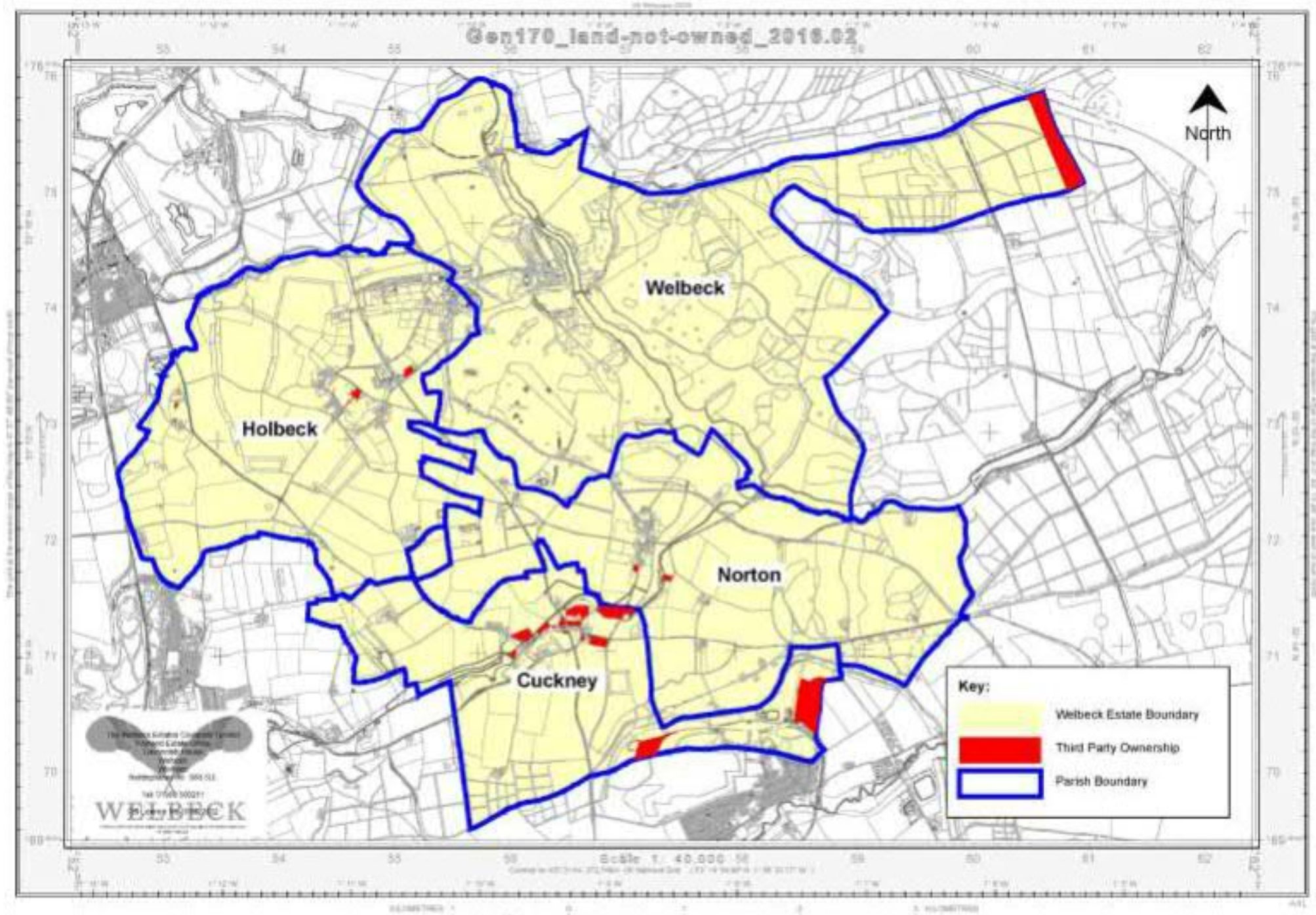
A photographic analysis of a number of vacant buildings within the study area which have potential to be sustainably redeveloped.

05 Design Codes

The design codes are established.

06 Next Steps

Provides guidance on the next steps for the NPMG and potential future developers.



Policy Context

Bassetlaw Local Plan

The Neighbourhood Plan area sits within the Nottinghamshire district of Bassetlaw. The Core Strategy & Development Management Policies DPD was adopted in December 2011. Policy DM4: Design and Character signposts the Commission for Architecture and Built Environment (CABE) Building for Life guidance as a benchmark for future development. The policy sets out the general design principles that development proposals will be expected to adhere to. These include:

- Local character and distinctiveness – requiring that development proposals respect their surroundings and respond to historic development patterns and landscape character;
- Architectural quality – requiring that new development respects its built context in terms of density, height, scale, massing, materials and detailing and avoid negative pastiche architecture;
- Public realm – requiring that new development supports stimulating and safe public spaces with active frontages and has appropriate landscaping and boundary treatments (retaining historic walls and hedgerows);
- Accessibility – requiring that public spaces are well connected and movement for people of all abilities is safe, comfortable and attractive;
- Amenity – requiring that a decent standard of private amenity space is provided and adequate space for waste and recycling; and
- Carbon reduction – requiring that new development proposals can demonstrate that consideration has been given to minimising CO2 emissions and measures that will allow new buildings to adapt to climate change.

Policy DM4: Design and Character also signposts the Successful Places Supplementary Planning Document 2013 which is a guide to sustainable housing layout and design for several councils in England. The document provides guidance on place making principles as well as delivering quality through the design process.

Consultation on the Draft Bassetlaw Local Plan (November 2020) ended on the 20th January 2021. Upon adoption the plan will replace the 2011 Core Strategy & Development Management Policies Development Plan Document.

The draft Local Plan includes policy on the design quality of future development largely aligning with the existing adopted policies on design. Specifically, the policy focusses on local character and settlement form, architectural quality and materials, landscaping, the environment, private amenity space and accessibility.

Cuckney is defined as a Small Rural Settlement in the Draft Bassetlaw Local Plan (November 2020). The other settlements within the Neighbourhood Plan area are not identified in the Local Plan's settlement hierarchy, but growth is supported subject to justification and demonstration of community support through the Neighbourhood Plan.

The design codes in this document will provide guidance to help future development within the Neighbourhood Plan area to adhere to Bassetlaw's design policies.

NCHW Neighbourhood Plan

The Norton, Cuckney, Holbeck and Welbeck Neighbourhood Plan was completed in March 2017. The Neighbourhood Plan Monitoring group are preparing a review to update the plan.

Within the Neighbourhood Plan, Policy 5: Design Principles for Residential Development supports development that draws upon the areas heritage and enhances local distinctiveness. The design codes in this document will be informed by the local character and heritage to support this policy. The Neighbourhood Plan also identifies a number of heritage assets within the Neighbourhood Plan area that are at risk, some of which have fallen into disrepair. Some of these assets will be explored within this document and codes will be established to inform their redevelopment.



Looking north from Creswell Road



The Greendale Oak Pub, Cuckney

02 Understanding Place

Settlement Structure

The Neighbourhood Plan Area comprises of the four villages of Norton, Cuckney, Holbeck and Welbeck. Welbeck is the historic estate core and is where most of the businesses in the Neighbourhood Plan area are found, including a cafe, brewery, bakehouse, dairy, farm shop, garden centre, gallery and artist studios amongst many other businesses. Norton and Holbeck are small villages with a quiet rural character comprising predominantly of residential lanes. Cuckney covers a slightly larger area than Norton and Holbeck and is dissected by the A60. There are several local amenities and services such as a playing field and community garden, Cuckney Church of England Primary School, St Mary's Church, The Greendale Oak pub and Jac's Café giving the village the character of a local centre.



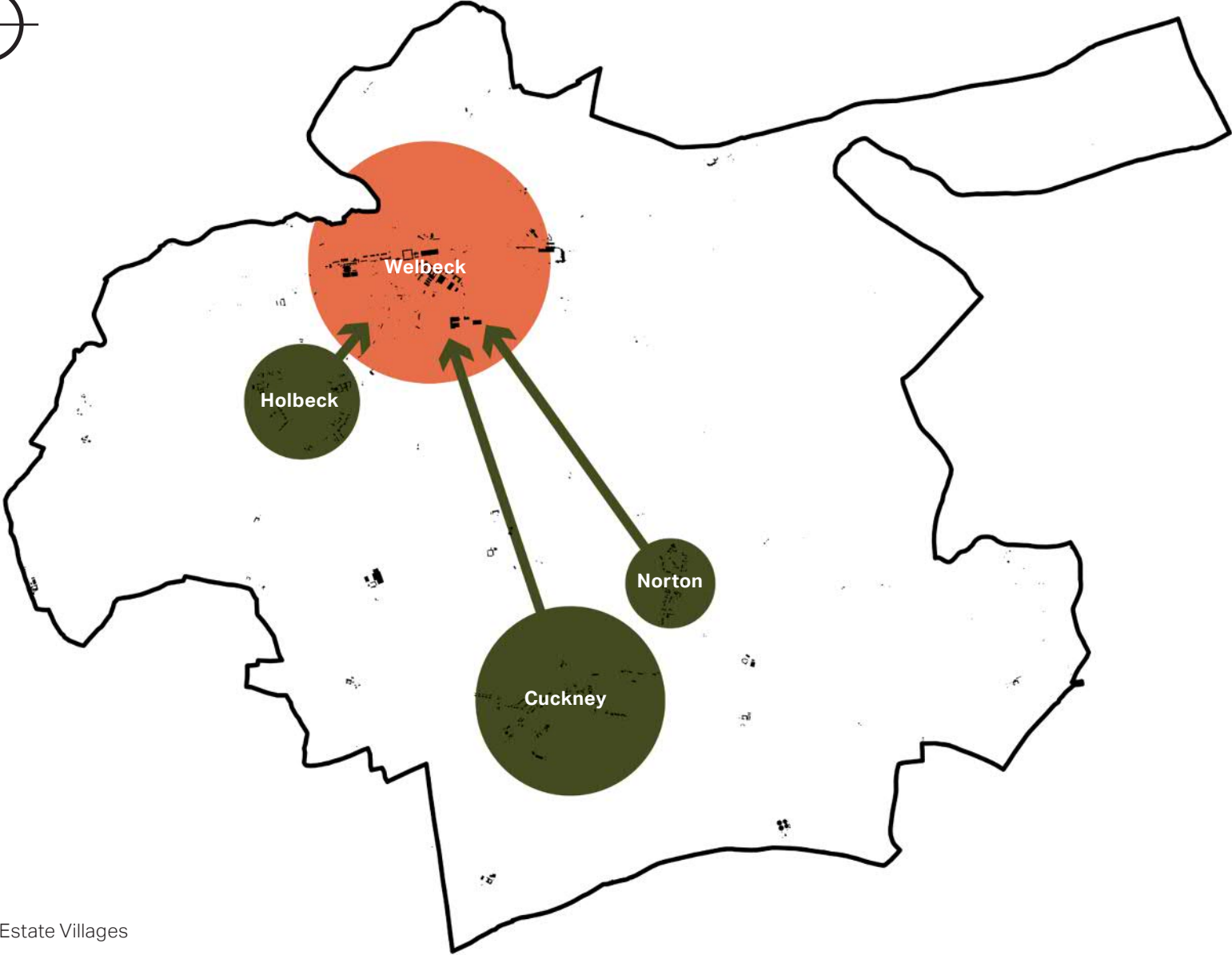
Norton



Jac's Cafe, Cuckney



The Greendale Oak, Cuckney



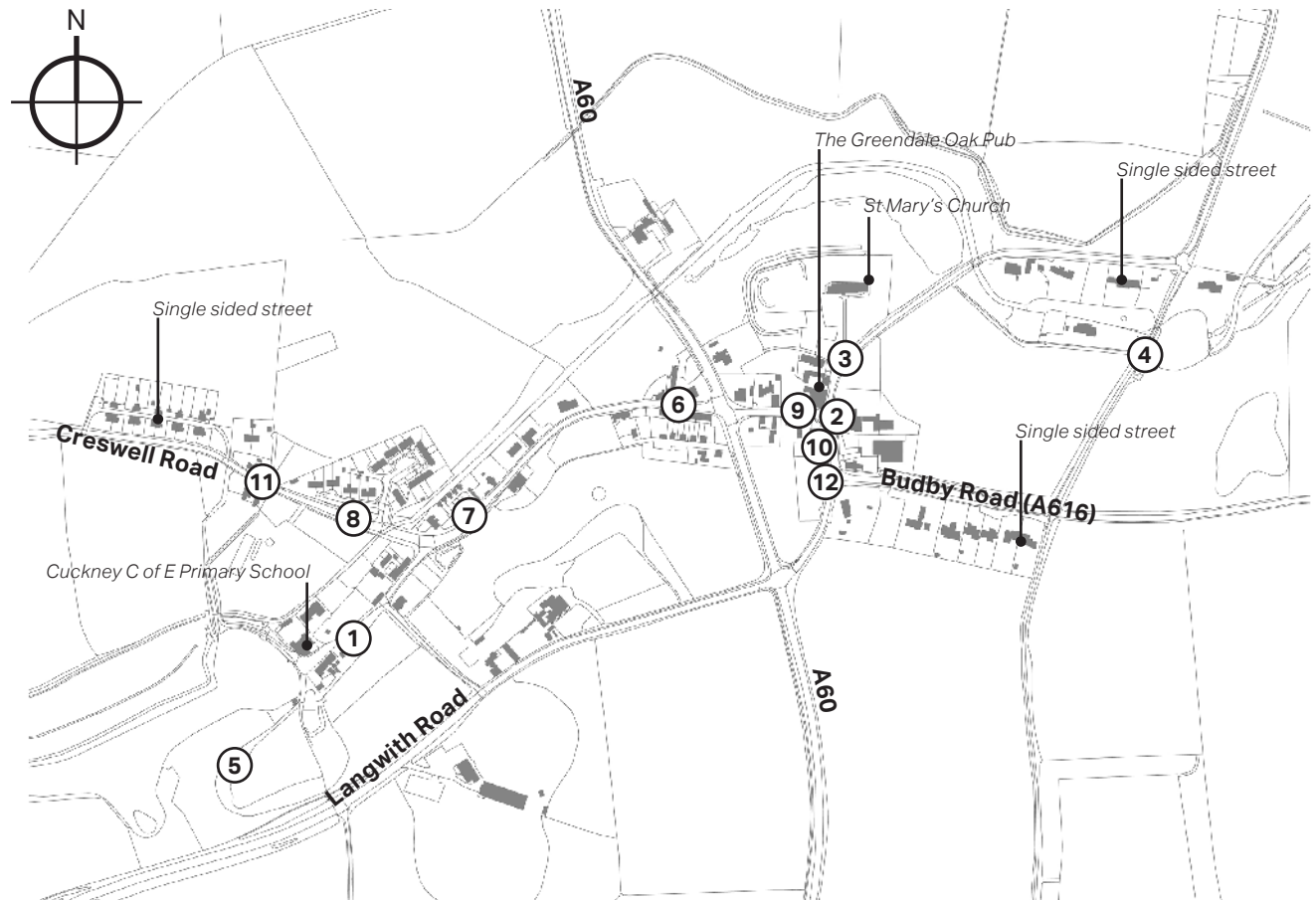
- Estate Villages
- Historic Estate Core

Village Character

Cuckney

Cuckney follows a linear development pattern with the majority of the housing in the village located along Creswell Road. At the edges of the village most of the housing is on one side of the street alternating sides along the street. This changes in the area of the village where the Greendale Oak pub and St Mary's church are situated, with dwellings positioned on either side of the street. There is an eclectic range of architectural styles in Cuckney, from stone and rendered built houses of the 18th and 19th C to a range of 21st C designs. Typically, buildings have slate or pantile roof coverings. There are taller buildings of up to three storeys that are not found in the other villages of Norton and Welbeck.

With the exception of the centre of the village where taller buildings are positioned close to the edge of the street most dwellings have front or side gardens with driveways to provide on plot parking.



Cuckney



1. Cuckney C of E Primary School



2. Greendale Oak Pub



3. St Mary's Church



4. Pond east of Old Mill Lane



5. View of Cuckney Dam



6. 1850s Cottages, Creswell Road



7. Maltkiln Row, Creswell Road



8. View east from Creswell Road



9. Budby Road



10. Budby Road



11. Creswell Road



12. Budby Road

Norton

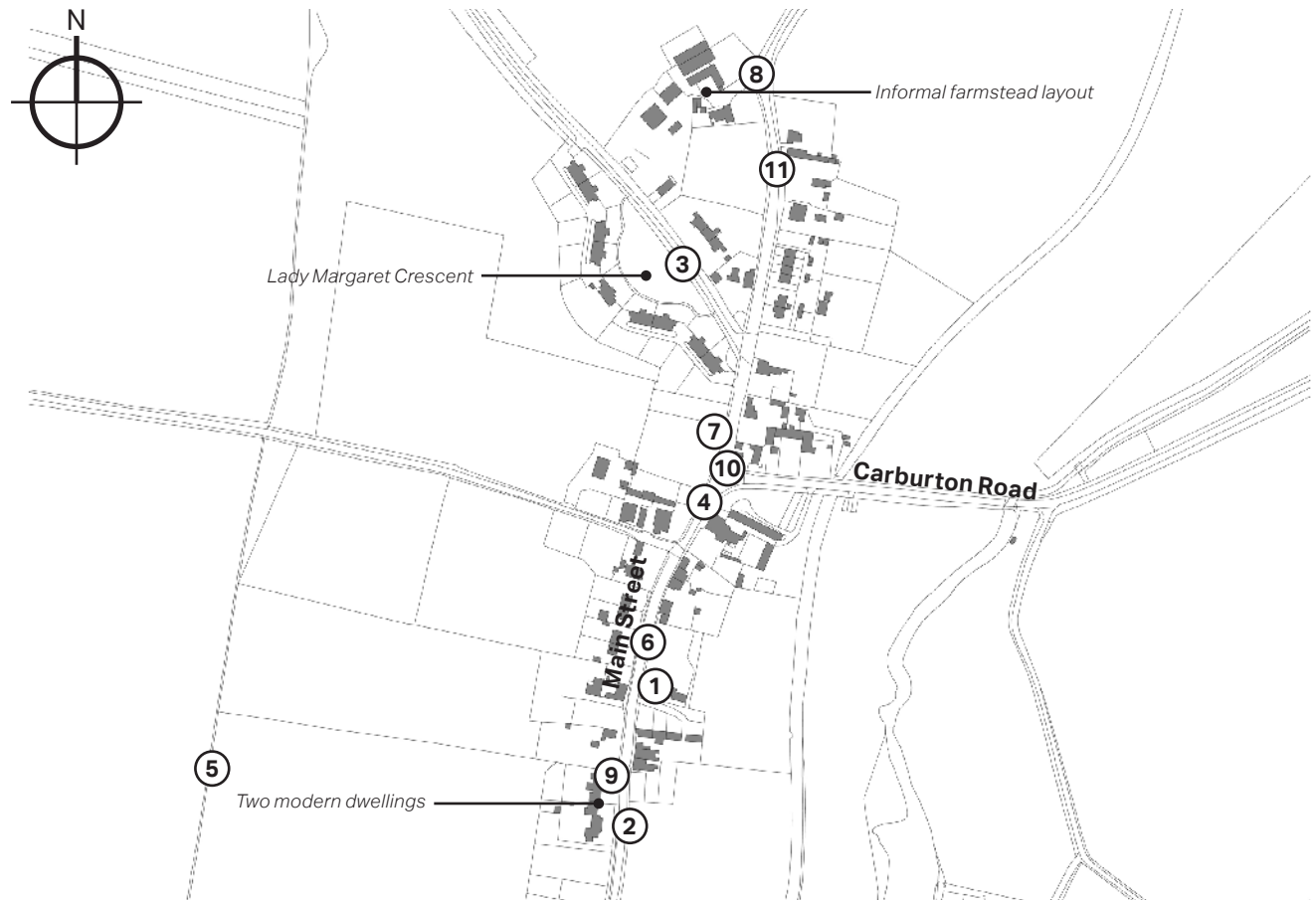
Norton follows a more rigid north-south linear development pattern with buildings having a strong relationship to the street. Towards the centre of the village, Main Street turns the corner to leave the village down Carburton Road, but the development pattern continues north on to New Cottages.

The development pattern differs at the north-most point of the village where a farmstead is has a more organic layout and Lady Margaret Crescent has a more modern planned, crescent shape layout.

With the exception of the bungalows of Lady Margaret Crescent, New Cottages (built in 1945) and the two more contemporary dwellings at the most southerly part of the village, Norton retains a historic and rural character.

The village has a strong sense of enclosure defined either by building elevations or hedgerow and wall boundary treatments. There is a granularity to the street scene with varied orientations of buildings, changes in setbacks with some buildings fronting onto the back of the pavement and varied roof forms.

Roofs are typically covered with either slate or pantiles and there is a mixture of brick, stone and rendered building elevations.



Norton



1. Norton



2. Norton



3. Lady Margaret Crescent



4. Norton



5. Norton



6. Strong building line, Main Street



9. RAF houses, built 1930s/40s



7. Norton



8. Norton Grange



10. Cottage dating back to c1850



11. Cottages dating back to c1850

Holbeck

Holbeck can be accessed directly from the A60 and comprises four separate areas of residential accommodation on two small lanes separated by agricultural fields.

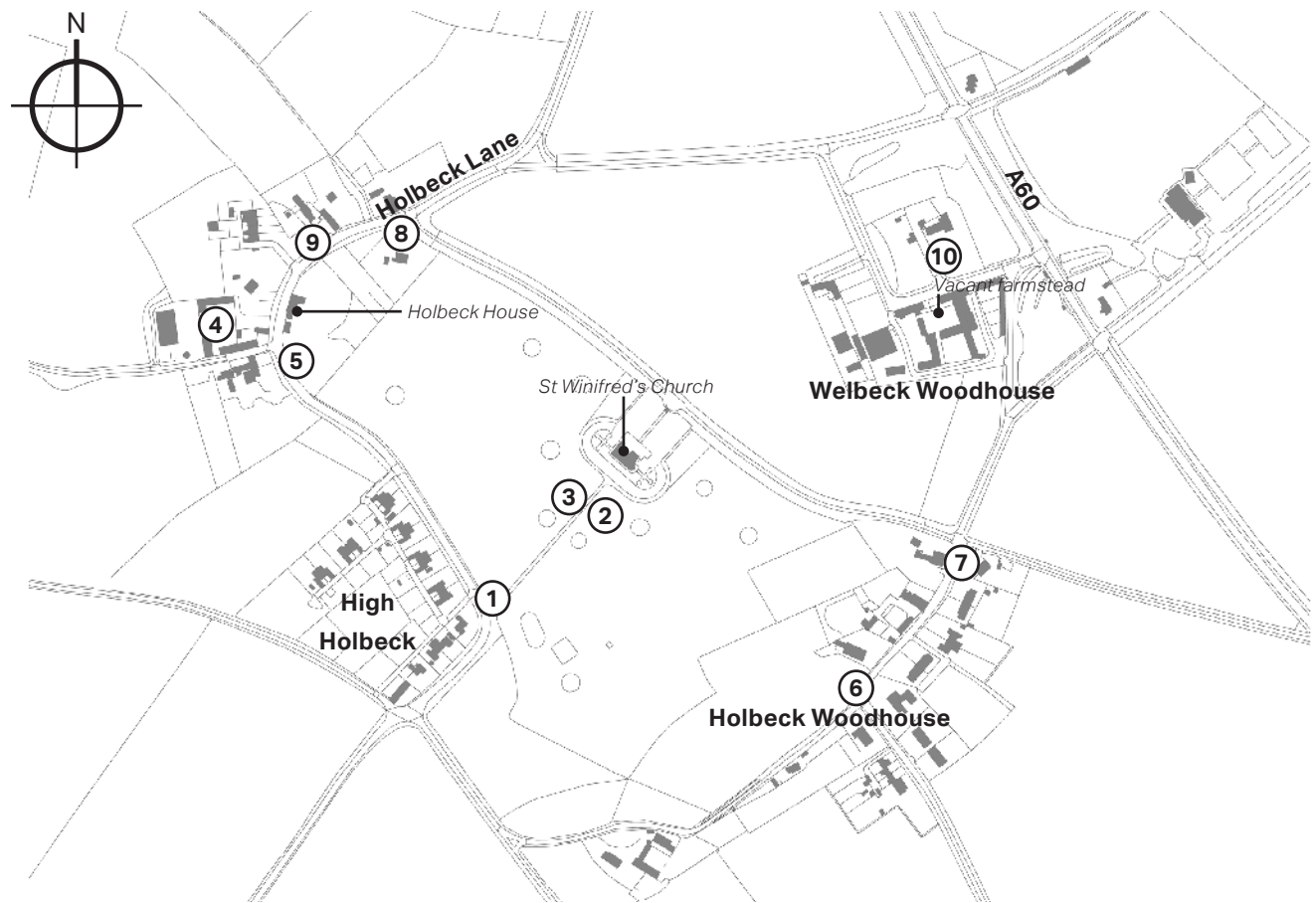
Holbeck Lane is where the majority of the buildings in Holbeck are found with a linear development pattern following the lane as it winds through the village. Most of the buildings along Holbeck Lane are positioned on the west side of the road set back behind grass verges and gardens. As Holbeck Lane curves through the village, Holbeck House is anchored to the eastern edge of the carriageway providing some variation and enclosure to the street. Holbeck Woodhouse is the other lane within the village and a mixture of modern bungalows and historic housing line the street, set back behind front gardens.

Set away from the residential development and at the heart of Holbeck is St Winifred's Church which is accessible from both sides of the village down a tree lined avenue.

Adjacent to the A60 and set away from the residential lanes in the village is Welbeck Woodhouse, a vacant farm complex with a rigid square layout and several courtyard spaces.

At High Holbeck are a series of brick and render dwellings which were built in the 1930s for estate workers. The design of these dwellings can also be seen in Norton.

In High Holbeck cars have less of a visual presence with parking typically provided to the rear or side of dwellings. In Holbeck Woodhouse there are several examples of parking being provided on driveways to side and front of dwellings.



Holbeck



1. Winifred's Church



2. View east



3. View west



4. Farm conversion, Holbeck Lane



5. Holbeck House



7. Holbeck Woodhouse



9. Holbeck Lane



6. Holbeck Woodhouse



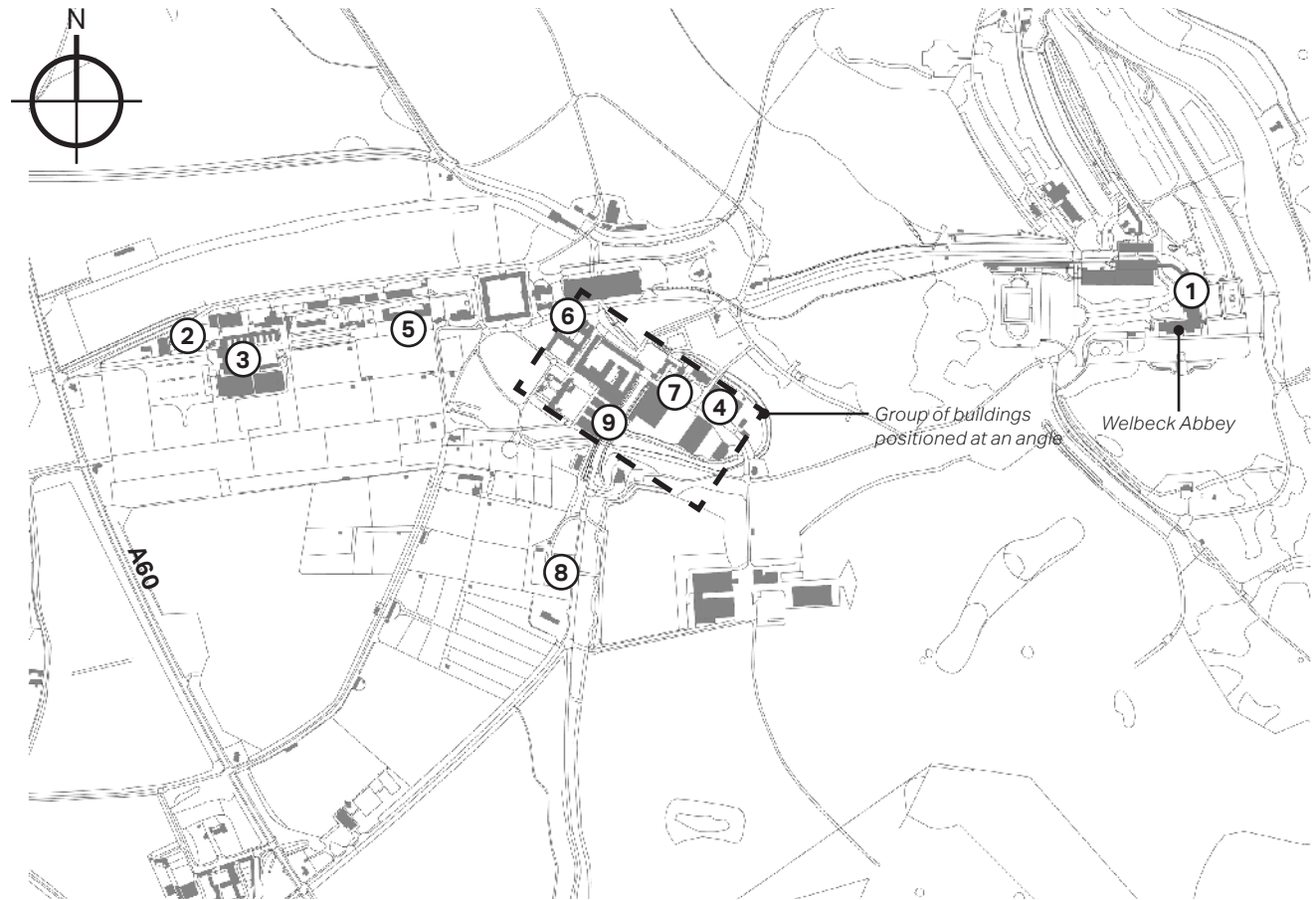
10. Welbeck Woodhouse

Welbeck

Welbeck is the historic core of the Welbeck estate, accessed directly from the A60. The majority of the buildings can be accessed from the lane which leads from the A60 towards Welbeck Abbey. As the lane moves through the estate it opens out to generous lawns and winds through the wide space between buildings before becoming enclosed on either side by a landscaped and wooded area leading towards the Abbey. There is a cluster of development in the estate where there is a concentration of businesses housed in former agricultural buildings or historic estate buildings. This area has been developed more densely, adhering to a juxtaposed angle to the surrounding buildings.

Many of the buildings in the estate have been repurposed for alternative uses as their original purpose is no longer required.

Buildings are typically constructed with stone with clay or slate roof tiles.



Welbeck



1. Welbeck Abbey



2. The Harley Gallery



3. Notcutts garden centre



4. The School of Artisan Foods and Welbeck Bakehouse



5. Studios



6. Welbeck



7. Welbeck



8. The Winnings holiday cottages



9. Welbeck

Access and Movement

The A60 (Worksop to Mansfield) connects Holbeck, Welbeck and Cuckney and there is a bus route from Mansfield to Worksop via Norton.

The A616 Sheffield (and M1) to Newark (and A1) goes through the main street of the village of Cuckney and is served by a bus route. The A632 Chesterfield to Newark also goes through Cuckney.

Holbeck is served by the A616 and the A60.

There are many public rights of way across the Neighbourhood Plan area providing opportunities for vehicle free routes where the surrounding landscape can be enjoyed. The Robin Hood long distance footpath also runs through the area.



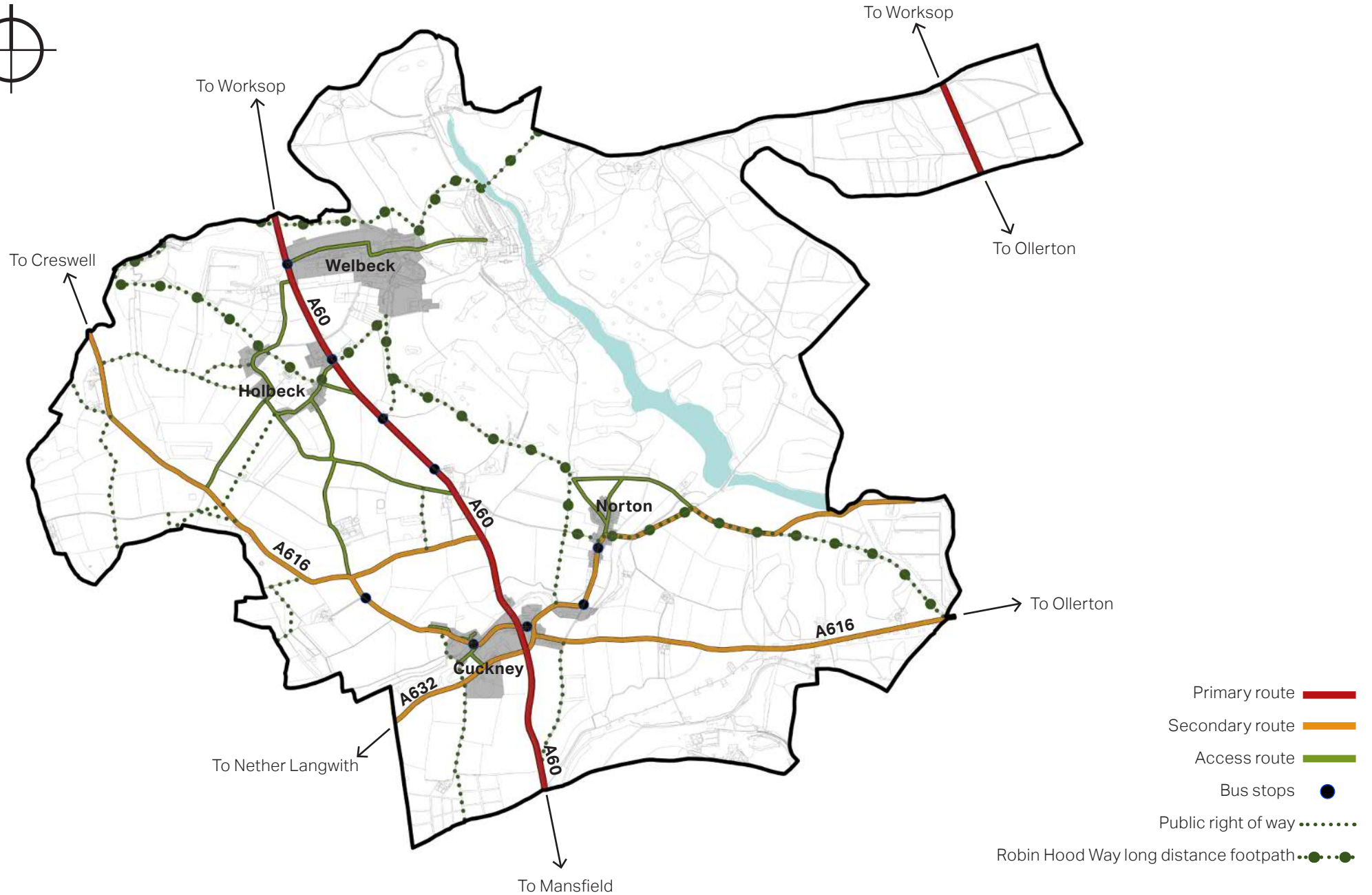
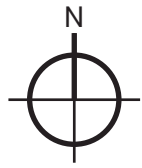
Main Street, Norton



Creswell Road, Cuckney



Budby Road, Cuckney



Access and Movement Diagram

Landscape and Heritage Setting

The three villages of Norton, Cuckney and Holbeck sit within conservation areas while Welbeck sits within a Grade II listed registered park and garden.

Welbeck Abbey is a Grade I listed building at the centre of the Welbeck estate. The estate also includes a deer park, ancient woodland and forestry, lakes farmland and grazing.

There are many 18th and 19th century buildings across the study area with approximately 60 listed buildings within the neighbourhood plan area contributing to the historic character of the villages.

The neighbourhood plan area has several areas of ancient woodland some of which are managed for fueling Welbeck Estate's biomass boiler, providing heating to buildings within the estate.

There are two Sites of Special Scientific Interest within the study area, Creswell Craggs in the north west which is a magnesian limestone gorge and Welbeck Lake to the East.

The neighbourhood plan area covers two of Bassetlaw's Landscape Character Areas. These character areas are summarised below:

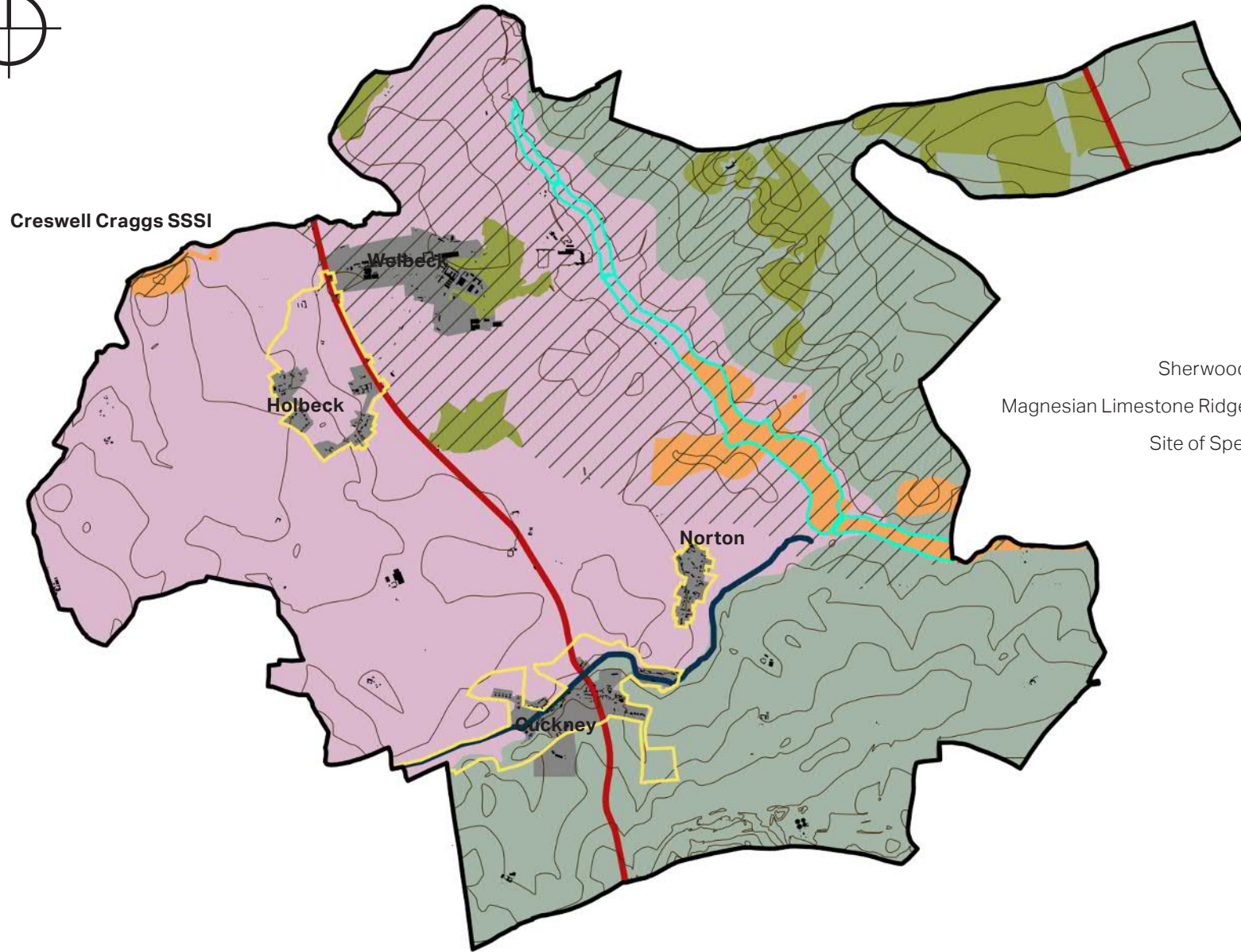
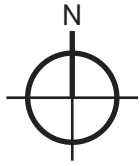
Sherwood Landscape Character Area

The character of the Sherwood region is strongly influenced by a number of factors. The high level of woodland cover and strong heathy character provide a reminder of the formerly extensive areas of forest and "waste". A range of features combine to produce a distinctive and sometimes unified landscape; these include rolling landform, scattered areas of grass, bracken and heather heathland, excellent examples of lowland oak/ birch woodland, large mature coniferous forests, enclosed arable farmlands, narrow river corridors and ornamental parklands.

Magnesian Limestone Ridge Character Area

The Magnesian Limestone Ridge is a settled agricultural region whose character is strongly influenced by the nature of the underlying geology. This is reflected not only in the shape of the land, but also in the associated pattern of land use and settlement. The land is shaped in the form of an elevated escarpment, for the most part gently rolling, but in places deeply dissected by narrow, steep-sided river valleys, while the historical development of the region is reflected in the surface pattern of large estates, enclosed commons and small rural villages. Together with the unifying influence of limestone as a locally distinctive building material, these are the regional characteristics that differentiate the Magnesian Limestone Ridge from surrounding areas.

Cuckney straddles both of these character areas following the direction of the River Poulter, while the developed areas of the other villages are wholly within the Magnesian Limestone Ridge Character Area.



- Sherwood Landscape Character Area 
- Magnesian Limestone Ridge Landscape Character Area 
- Site of Special Scientific Interest (SSSI) 
- Registered Park and Garden 
- Welbeck Lake 
- River Poulter 
- Conservation Areas 
- 10m Contours 
- Settlement Areas 
- Key Route 
- Ancient Woodland 



Norton Grange

03 Welbeck Pattern Book Review

The Welbeck Pattern Book

The Welbeck Pattern Book provides appraisals of five of the villages within the Welbeck estate including Cuckney, Norton and Holbeck. The appraisals provide an understanding of the villages' character and demonstrates that the Welbeck buildings were designed in response to the functional requirements of their time and in a style contemporary with their period of construction.

The document concludes with an established 'Pattern' where several key elements that should be incorporated in new developments are defined.

This document will align the design codes to the following three headings and key elements from the Pattern Book:

General Form

- Buildings should have a strong relationship to each other;
- Parking should be within the curtilage of a dwelling, preferably to the rear or within an outbuilding;
- Defendable outdoor space should be provided with refuse and garden storage;
- New buildings should have a contemporary appearance or good vernacular style;
- The main building should be no more than two storeys in height with a pitched roof form. There will be possible scope for three storey development in Cuckney; and
- Separate outbuilding or attached single storey range for ancillary accommodation are acceptable.

Specific Details

- Materials should respond to the local context with use of brick, stone and render for primary facing materials and either slate or clay tiles for roof covering;
- Roofs should be pitched with a shadow line at the eaves, through the use of overhanging eaves, cornices or similar detailing;
- Roofs should have chimneys or similar vertical feature; and
- Doors and windows should be vertically proportioned.

Sustainability

- Buildings should incorporate passive solar design through careful orientation and siting; and
- Where micro-generation is part of a development, it should be well incorporated into the design of the buildings and should not appear as an after thought.

Repurposing Existing Buildings

The Welbeck Pattern Book focusses primarily on providing guidance for new development to ensure that it harmonises with the existing character of the estate.

The functional requirements of many existing buildings in the estate today are not what they once were. As a result of this, there are numerous dwellings, outbuildings and farmsteads that currently lay vacant and/or dilapidated. Within the CNHW Neighbourhood Development Plan a Heritage at Risk list is provided which includes several outbuildings and barns.

A potential form of development in the Neighbourhood Plan area is the repurposing of these buildings for uses fit for today's requirements. This sustainable form of development could provide new homes or commercial space whilst having a minimal environmental and visual impact on the existing settlement, as the scale and form of existing buildings could be retained.



Roofless barn, Cuckney



Repurposing of farmstead buildings for residential use

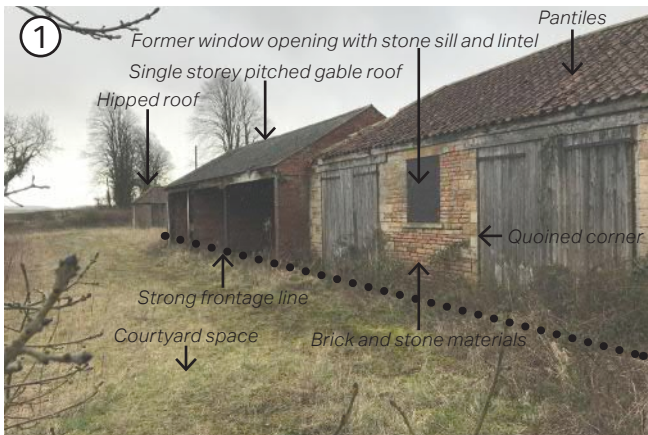
04 Analysis of building archetypes that offer opportunities for redevelopment

On the site visit conducted on 2nd February 2020, AECOM and CNHW NPMG representatives visited the farm buildings pictured on the opposite page. These buildings were being repurposed for residential use as several small dwellings.

On the following pages are some further examples of vacant buildings that were visited which are no longer functional for their original requirements.

There are also many examples (not analysed in this section) of buildings across the Neighbourhood Plan area that have potential to be redeveloped for an alternative use, particularly outbuildings and barns.

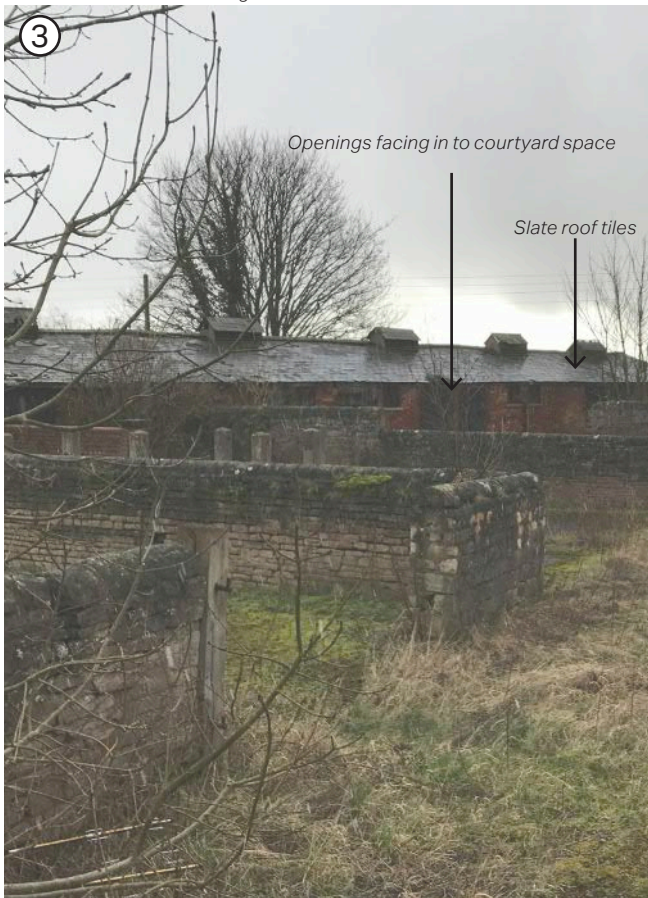
Each of the buildings has been analysed using the key elements from the Pattern Book.



1. Vacant farmstead buildings, Holbeck



2. Vacant farmstead buildings, Holbeck



3. Vacant farmstead buildings, Holbeck



4. Vacant farmstead buildings, Holbeck

The buildings within the farmstead have a strong relationship with each other and form several courtyard spaces where buildings turn a corner to enclose the space. Building frontage lines are strong with very few projections. This strengthens the definition of the courtyard spaces.

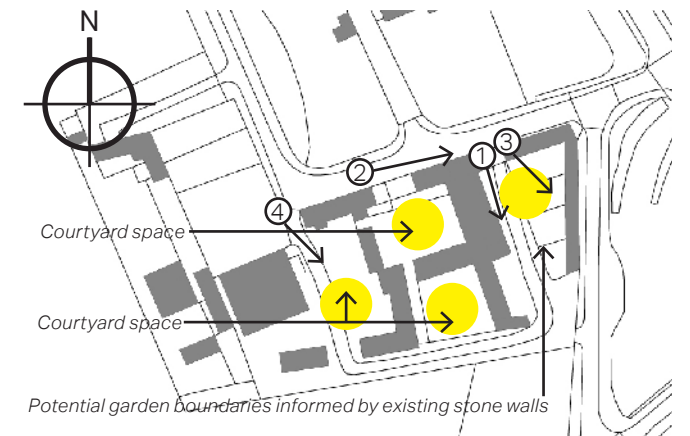
The former agricultural use of these buildings has not required parking provision for vehicles. The layout of the site has areas where informal parking and vehicular movement could be accommodated.

Buildings are set back from the carriageway behind a small grass verge. Boundary treatments comprise of the building frontage and sections of stone wall. Internally there are several enclosed courtyard spaces.

Buildings are predominantly single storey. There is also a taller barn building and a two-storey building within the site.

Throughout the site there is a mix of stone and brick building materials. Roofs are tiled with either plain clay tiles, slate or pantiles. Roofs are all pitched and vary between hipped and gable roof forms. Elevations have few openings. The main openings are floor to eaves entrances with timber doors. Window openings tend to have stone sills and lintels.

The layout of the buildings has resulted in south facing courtyard spaces with openings tending to face into the courtyards. This will result in both thermal and light benefits inside the buildings.



Holbeck farmstead reference plan



1. Dilapidated outbuildings, Norton



2. Vacant and run down Eddison's Cottage, Norton



3. Rear of Eddison's Cottage and outbuilding, Norton

Eddison's Cottage is a two-storey dwelling and has a strong relationship to the street with the building frontage sat against the back of the pavement. The building is oriented to face the street following Norton's linear layout.

The single-storey outbuilding to the rear is positioned close to the cottage and in an L shaped layout.

There is an overgrown gated access drive to the side of the cottage suitable for vehicles to park off the street.

The cottage has a small attached outbuilding which encloses the garden space to the rear. The wider plot is bound by hedgerows and trees.

The cottage has an attached single storey outbuilding

Eddison' Cottage is clad with a natural render and has red pantile roof covering. The outbuilding to the rear is constructed with a mix of stone and brick.

The cottage has a pitched gable roof with chimneys at either end and the ridge line is parallel with the street. The outbuilding to the rear has a collapsed hipped roof covered with pantiles.

The cottage has timber casement windows with protruding hood moulds above openings and stone sills.

The outbuilding to the rear has floor to eaves opening with timber doors as well as multi-paned timber framed windows which are roughly half the height of the elevation.



Eddison's Cottage reference plan



1. Farm building, Welbeck

These farm buildings have a parallel layout. The rigidity of the layout has created a very formal square courtyard space between the buildings.

There is no formal space for parking vehicles, but the courtyard's size and former use as a working yard allows for informal vehicular parking and movement.

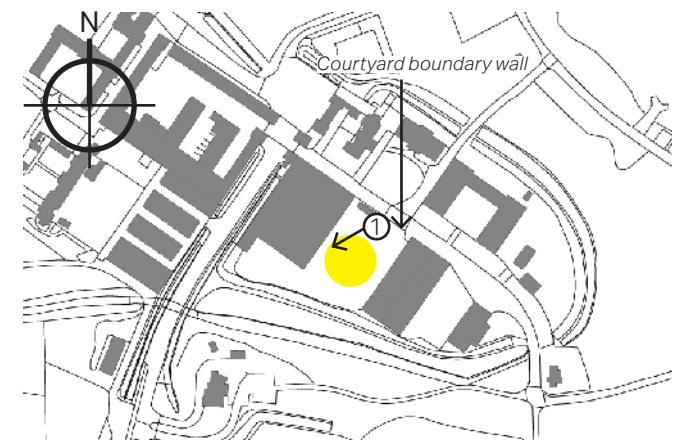
A stone boundary wall on the north side of the courtyard space encloses the space and has a central opening for access.

The farm building is an open sided single storey structure.

The building is an open sided structure, partially clad with timber and with stone gable ends. The roof covering is slate tiles. The roof is a triple pitched gable roof.

The building is partially open sided with no windows.

The building is oriented at a 45° angle with the main elevation and openings facing towards south. This has resulted in the courtyard space being well lit by the sun.



Welbeck farm buildings reference plan



Vacant farm house, Norton



Redundant farm building, Norton



Redundant farm building, Norton

Buildings are informally arranged in close proximity to each other. The arrangement of the buildings as well as the L shape of one of the buildings has resulted in an internal courtyard space. The internal courtyard functions as a semi-private outdoor space.

A driveway to the side of the farmhouse provides vehicular access for cars to park off the street.

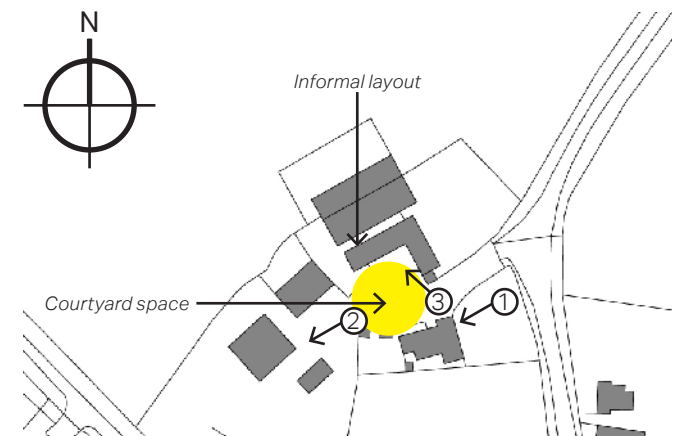
The main building is set back from the carriageway behind a grass verge and a hedge bound front garden. Other boundaries are defined by trees, hedges and fencing.

The main farm building is a two-storey dwelling whilst the rest of the buildings within the site are single storey. A taller open sided barn structure is also within the site.

Red brick and stone with pantile roof coverings and plain clay tiles on the main farmhouse building. Quoined corner detailing. Roofs pitched in a combination of hipped and gable forms.

The main farmhouse building has timber multi-paned windows with stone sills. Both door and window openings have flat arches and key stones on the front elevation. Side elevations have stone lintels.

The single storey farm buildings mainly have floor to eaves openings with timber doors facing into the courtyard space. Openings have stone lintels and stone detailing on the door surround.



Norton farmstead reference plan



New Cottages, Cuckney

05 Design Codes

Design Codes

Future development opportunities in the neighbourhood area will be split between new development on potential sites such as those identified in the CNHW Neighbourhood Plan and development which reuses the existing building stock within the Neighbourhood Plan area. For this reason the Design Codes section in this document has been split into two - **design codes for new buildings** and **design codes for existing buildings**. The codes have also been aligned to the key elements of the Welbeck Pattern Book and are structured under the following three headings:

1. General Form

- Building Relationships
- Parking
- Defendable Outdoor Space
- Contemporary Appearance
- Height
- Outbuildings

2. Specific Details

- Materials
- Roofs
- Doors and Windows

3. Sustainability

- Passive Solar Design
- Micro-generation



Farm buildings being converted to residential use in Belph (just outside of the Neighbourhood Plan area)

Design Codes for New Buildings

General Form

Building Relationships

As stated in the Welbeck Pattern Book, buildings should have a strong relationship to each other. There are a number of ways that this can be achieved as illustrated in the adjacent photographs.

- Building frontages - A shared frontage line in a series of adjacent buildings should be used to create a uniformity and rhythm along the street.
- Alternating single sided streets - Short runs of buildings should be situated on one side of the street creating opportunities for views to be seen and to create a more open rural character. As the run of buildings comes to an end a new run should be introduced on the opposite side of the street. The positioning of the buildings should be informed by views of the surrounding landscape.
- Farmsteads - A farmstead form of development can be separated from a main settlement area but main buildings and ancillary buildings should have a strong relationship with each other.



Strong relationships created with facing buildings parallel to the street



A strong frontage line can create a strong relationship between the buildings



A sense of detachment in a farmstead layout is avoided with strong relationships with ancillary buildings



Farmstead buildings can have a strong relationship as a result of a shared courtyard



A one sided street has a strong frontage line and allows for views from the front of dwellings

General Form

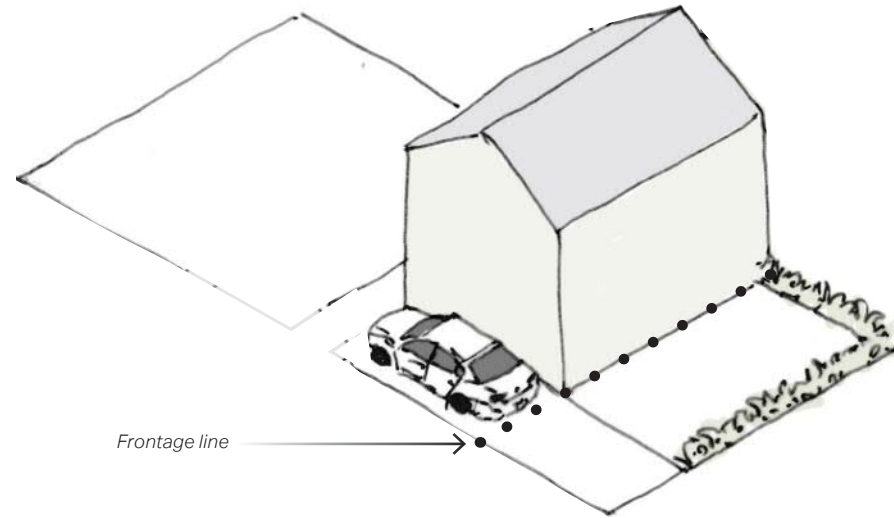
Parking

Parking should be provided off the street in all new housing developments. Parking should be provided to the side or rear of a dwelling to make sure the front elevation of a building is not cluttered.

Bassetlaw parking standards recommend that 1 parking space is provided for 1 bedroom dwellings. For dwellings of 2 or more bedrooms 2 parking spaces should be provided. Where more than one parking space is provided for a dwelling at least 1 of these should be positioned behind the frontage line to reduce the visual impact of parked vehicles.

Parking being provided on a driveway to the side of a dwelling should be of sufficient length so that a car can park behind the frontage line of the dwelling, as illustrated in the adjacent figure. This will reduce the visual impact that cars will have on the street scene.

Parking being provided in a garage to the side of a dwelling should be set back from the frontage line of the dwelling to reduce the visual impact of cars on the street. Garages should also provide sufficient room for cars to park inside them as well as provide some room for storage. The minimum internal dimensions of a garage should therefore be 6m x 3m



Parking



Off-street parking, Holbeck



Off-street parking, Norton

General Form

Defendable Outdoor Space

New residential developments should provide private outdoor space. Where the back of a plot backs on to open countryside, back gardens should use soft boundary treatments such as hedgerows and trees to soften the transition into the surrounding landscape.

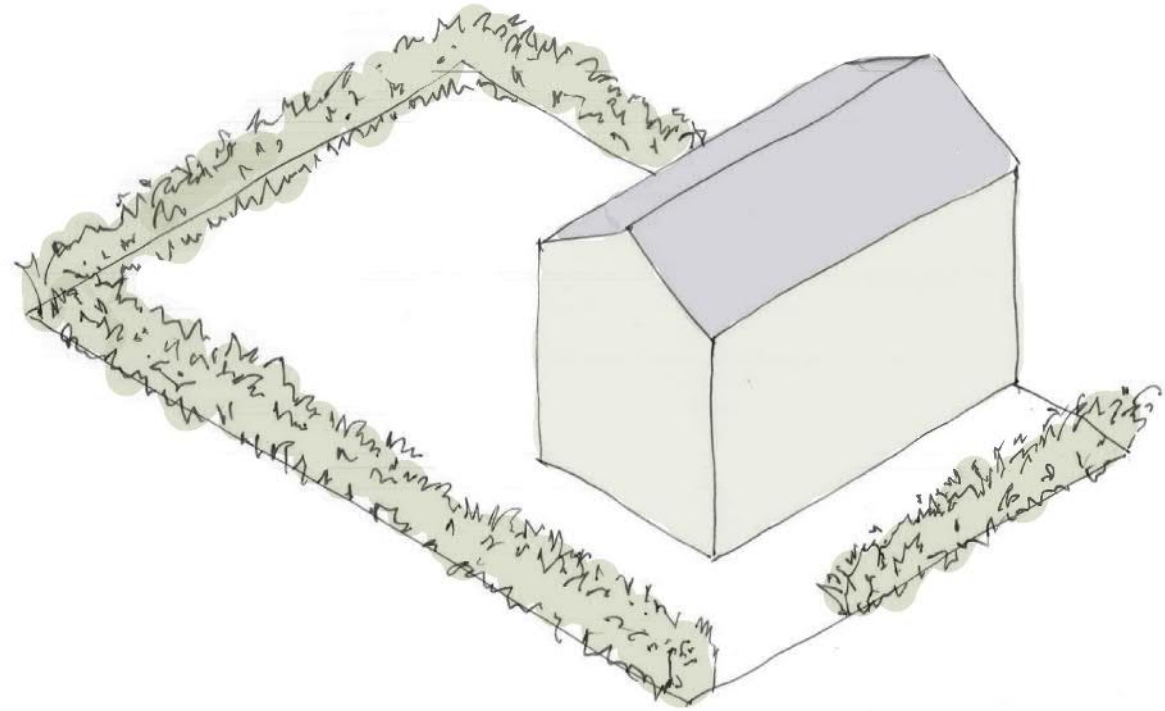
It is acceptable to set buildings back behind front gardens. Front boundary treatments should reflect those of adjacent dwellings.



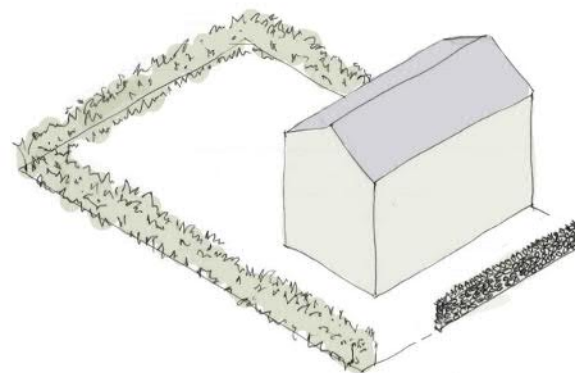
Dwelling set back behind front garden with hedgerow front boundary



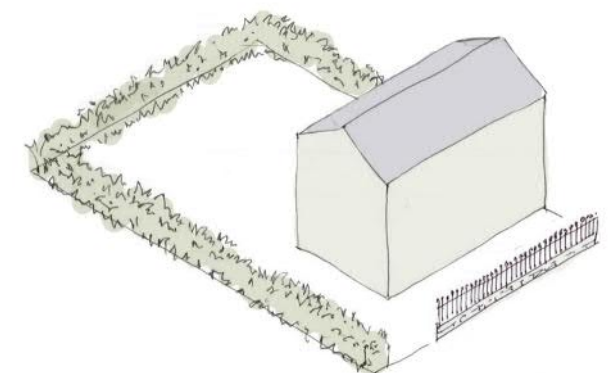
Dwelling set back behind front garden with stone wall front boundary



Hedgerow boundary



Stone wall boundary



Fenced boundary

General Form

Appropriate Contemporary Response

The local character within the neighbourhood plan area is highly sensitive to change. Future developments will be required to respond to the historic character of the area. This does not require new development to replicate existing architecture. Contemporary interpretations of the vernacular built form will be acceptable.

- Contemporary building design is encouraged where it has clearly taken reference from buildings within its context in terms of scale, massing, elevation detailing and materials.
- Alternative building materials may be acceptable as a contemporary alternative to the building materials of the vernacular architecture. In this case it must be demonstrated that the proposed use of materials is more sustainable than the materials used locally.



Precedent contemporary development - Abode, Great Kneighton



Precedent contemporary development - Carrowbreck Meadow



Precedent contemporary development - The Avenue, Saffron Walden

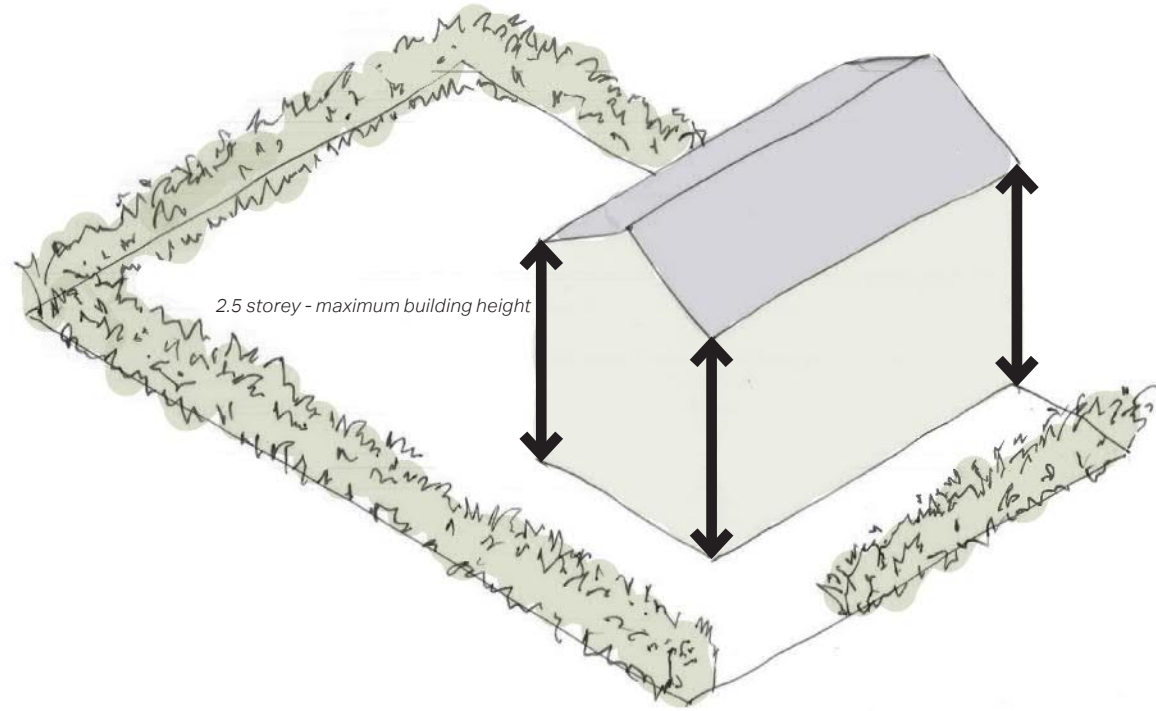
General Form

Building Heights

To adhere to the Neighbourhood Area's typical building heights, future housing developments should not exceed 2.5 storeys. Examples of 1, 1.5, 2 and 2.5 storey buildings are seen across the area and should therefore be seen as appropriate storey heights for future residential development. Taller buildings may be acceptable in Cuckney where there are examples of 3 storey buildings.

Building heights should be informed by the height of adjacent properties. Internally, buildings should also respect the floor to ceiling heights of adjacent buildings in order to create similar overall building heights.

It is acceptable to provide an additional storey within the roof space of a dwelling as seen below.



2.5 storey dwelling using roof space, Norton

Maximum building heights



3 storey former mill building, Cuckney



Typical 2 storey building height, Cuckney

General Form

Outbuildings

As identified in the Welbeck Pattern Book, separate outbuildings or attached single storey ranges for ancillary accommodation are acceptable in the Neighbourhood Plan Area.

- Outbuildings should be positioned close to the main building on a plot.
- There should be a clear building hierarchy with outbuildings being secondary to the main building on a plot.
- The footprint area of outbuildings should be a minimum of 60% less than the main dwelling.
- Outbuildings should be more modest in terms of elevation detailing than a main building and have fewer openings.
- Outbuildings should be situated to the rear of a main dwelling and should not be visible from the front of the plot or street.
- Outbuildings should have one main access.
- It is acceptable to convert existing outbuildings to create home offices.

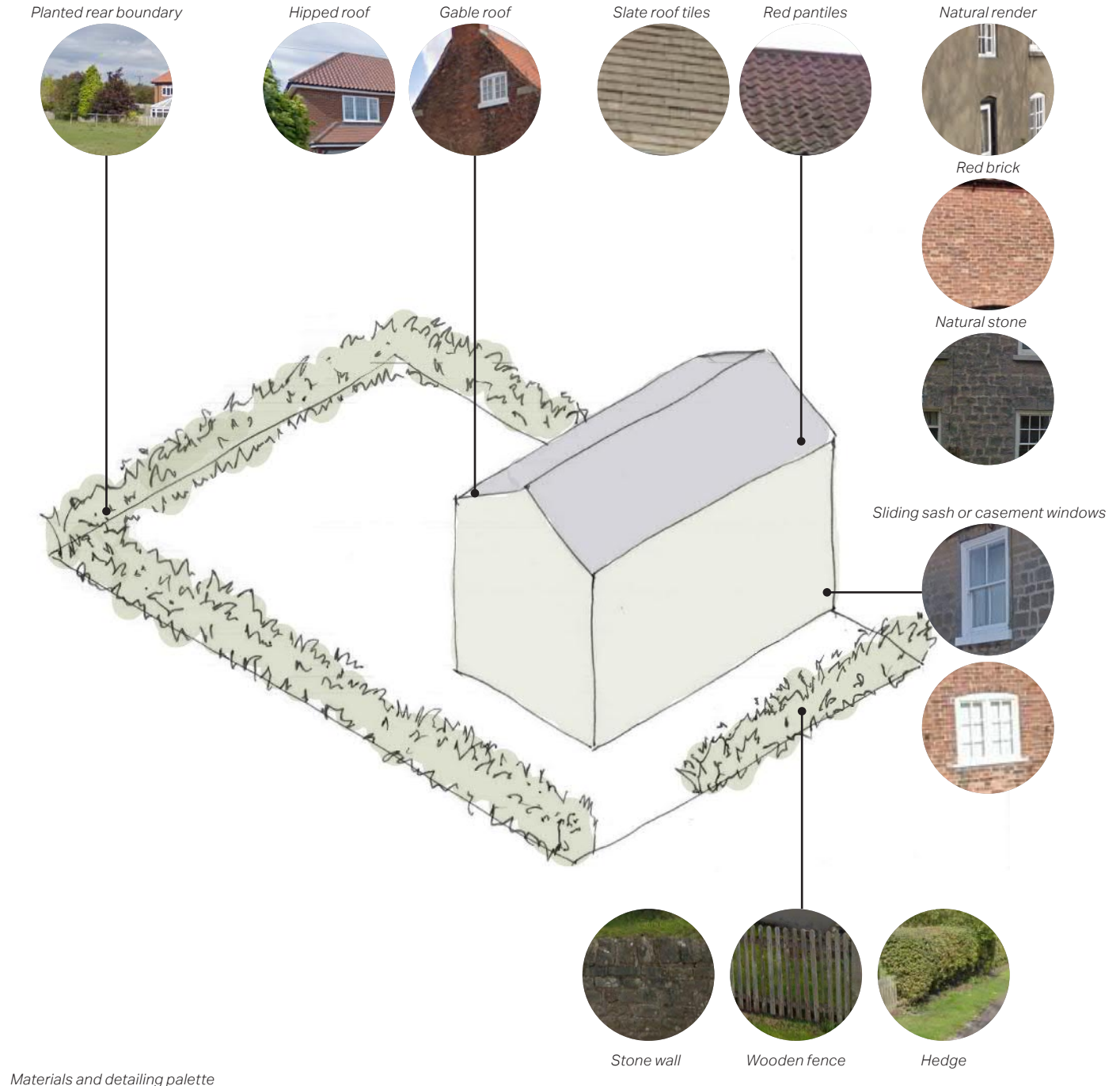


Specific Details

Materials, Roof, Doors and Windows

Informed by the Neighbourhood Plan area's existing use of materials and detailing, the adjacent diagram illustrates acceptable materials and detailing for future housing developments. Future developments should carefully apply this code to avoid creating a pastiche of the existing local vernacular. Detailing can be interpreted using contemporary methods to avoid this.

When



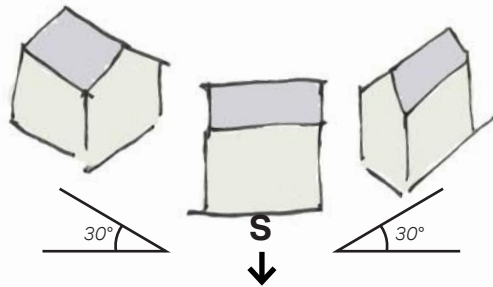
Materials and detailing palette

Sustainability

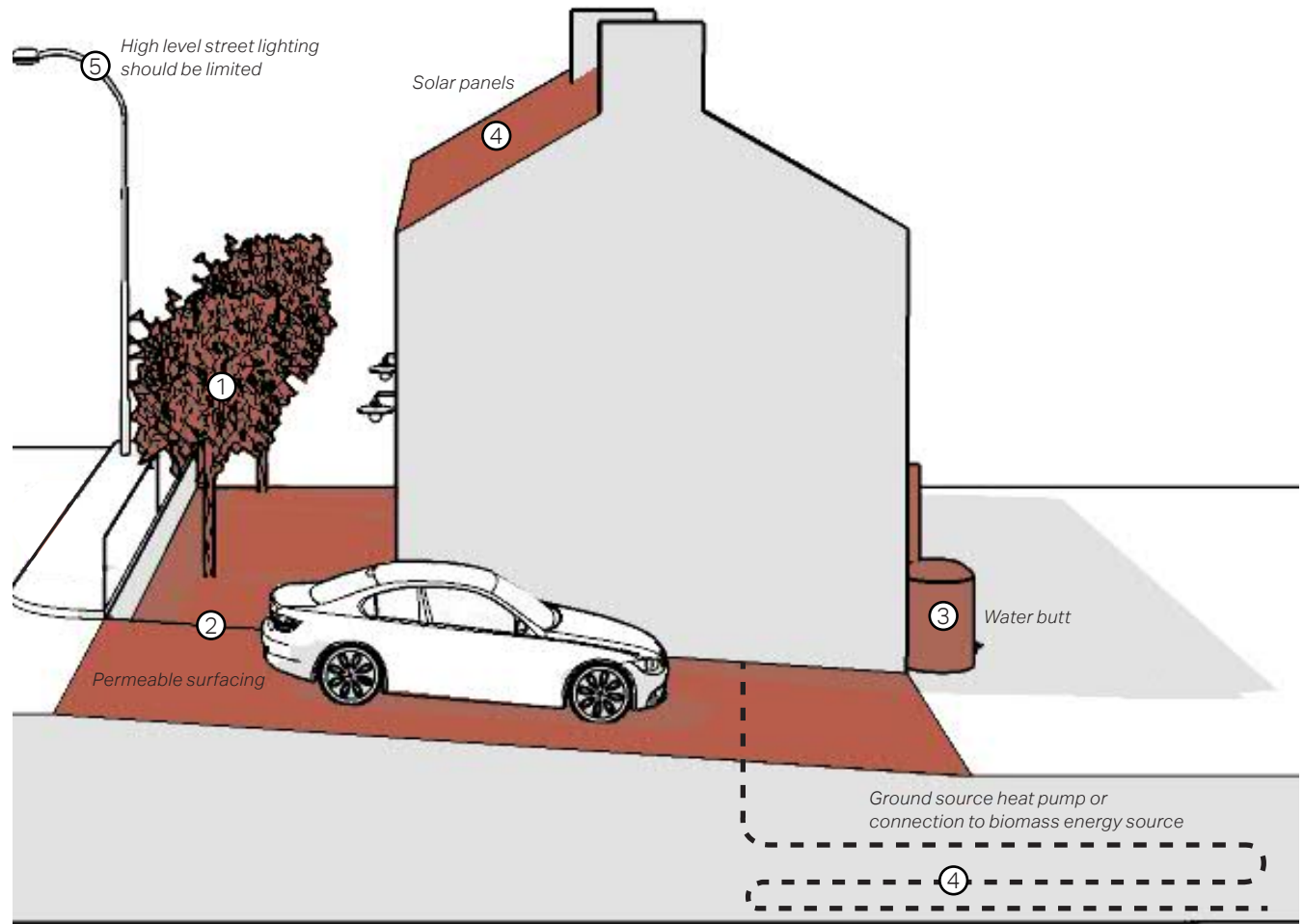
1. Trees should be retained where possible, with any removals to be replaced on a ratio of 1:2. In addition, planting should look to promote biodiversity by utilising native species.
2. Gardens and parking areas should have the majority of their area landscaped with permeable surfacing to allow rainwater absorption and reduce the rate of run off caused by development.
3. Water butts should be installed within new residential developments to collect rainwater from roofs and reduce the overall rainwater run off impact of any development on the surrounding area.
4. Sustainable energy supplies such as solar, ground source and locally produced energy (Welbeck's Biomass boiler) are encouraged in new developments. These should be designed to be well integrated and have a minimal visual impact on a development.

The orientation of buildings and roof pitches should incorporate passive solar design principles and allow for efficient solar energy collection. One of the main glazed elevations of future dwellings should therefore keep within 30° of south. This applies to all future dwellings whether solar panels are proposed or not to allow for retrospective implementation.

5. High level street lighting should be kept to a minimum to reduce light pollution on the landscape. Where street lighting is proposed it should use LED lights and have fully shielded fixtures that emit no light upward.



Building orientation for solar gain



Sustainability

Design Codes for Existing Buildings

General Form

Building Envelope

The redevelopment of existing buildings should adhere to the existing building envelope.

If a building or structure is to be removed it can still provide design cues for future development. The open barn in the adjacent photograph is an example of this. Although this structure does not positively contribute to the character of the area today. Its footprint could inform the building envelope of a future building to replace it.



An open sided barn structure could inform the building footprint for a future building

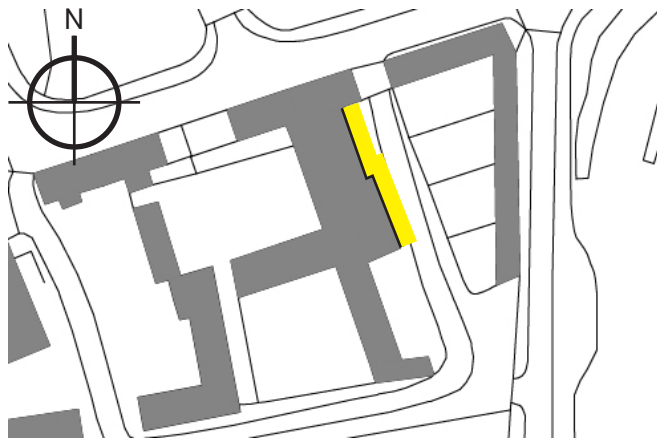


The redevelopment of farm buildings such as these should result in single storey accommodation

General Form

Mass, Void and Relationship to Space

The orientation of buildings should be retained and elevations should retain the same frontage line to avoid projecting into the space the building fronts on to. Additions to a building that would have an adverse affect on its immediate surroundings will not be acceptable.



The existing building line should be respected to retain the character the space immediately in front.



Strong frontage lines create formal enclosed spaces. These lines should be preserved without adding further projections into the space

General Form

Appropriate Densification of Site

There may be opportunities to provide additional buildings within a development site as part of the redevelopment of existing buildings. The design of any additional buildings should be informed by the new building design codes in this document as well as the existing buildings on the site. Design cues should be taken from the materials, orientation, scale, elevations, roof forms and fenestration of the existing buildings.

The adjacent image shows how additional buildings can be appropriately introduced to the site of an existing building. The materials used reflect those of the existing building and there is an appropriate hierarchy of scale with the new buildings covering a much smaller area and being lower in height.



Fourways Cottage, Cuckney

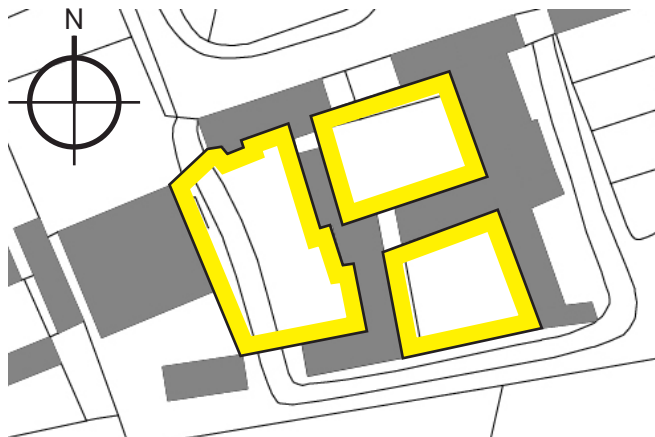
General Form

Defendable Space

Existing outdoor spaces should be retained and where the creation of new outdoor spaces are to be proposed these should use the same boundary treatments as those already on or adjacent to the site.



An existing courtyard space should be used to inform the provision of outdoor space



Courtyards can be used to create shared private spaces with private spaces within the building apron



Existing yards should retain their openness



Existing stone walls and hedgerows should inform boundary treatments

Specific Details

Materials

The existing materials palette of buildings should be respected. In most cases this will mean using stone, red brick or render for elevations and slate, pantiles or plain clay tiles for roof coverings. Where possible it is encouraged to reuse existing materials. This will help to reduce the visual impact of clean new materials and allow the buildings to sit more comfortably within their setting.

Where a roof has asbestos cement roof tiles these should be replaced with a visually similar roof covering such as slate or pantiles.

When replacing the traditional timber framed windows of existing buildings every effort should be made to replace like for like. Where possible double or secondary glazing can be used to improve the sustainability of exiting buildings being converted for residential use.



Natural render



Natural stone



Red brick and pantiles



Timber cladding



Plain clay roof tiles



A former asbestos cement roof re-covered with slate

Specific Details

Elevations and Openings

Elevations and openings should be retained. Where door and window openings face into an internal courtyard space it is important that these are retained to overlook and provide texture to the space.

The redevelopment of an existing building should work with the existing door and window openings. Windows or doors which have historically been boarded or bricked up can be reinstated. Any additional openings that are created should be in proportion with those existing and not detract from the established character of the building.

Detailing such as stone sills, lintels and quoined corners should also be retained.



Boarded up openings can be reinstated and details such as stone sills, lintels and quoined corner detailing should be preserved



Openings facing south and overlooking courtyard spaces should be retained



Openings overlooking a courtyard space should be retained

Specific Details

Roof Form

Throughout the Neighbourhood Plan area there are a variety of roof types. When redeveloping a building the existing or former roof form (if the roof has been removed or damaged) should be adhered to.

If a roof is being replaced, depending on the building, it may be acceptable to reorientate the pitch of the roof if this resulted in a favourable angle to create a more passive solar design or for installing solar panelling for micro-generation within the site.



Hipped roof form



Stepped gable roof forms



Overhanging gable roof form



A dilapidated hipped roof form

Sustainability

Attaching to sustainable energy supply

The reuse of existing buildings is inherently sustainable by reducing the need for land and materials. However, existing buildings may not be connected to a sustainable energy supply. Future redevelopments of the existing building stock should seek to connect to the locally and sustainably generated energy supply (Welbeck biomass) or provide on site micro-generation features.



Wood chip biodigester, Norton



Welbeck's 800kw Biomass boiler

Sustainability

Orientation and retaining passive solar design features

There are many examples of buildings within the Neighbourhood Area which have been historically orientated to maximise the sun's exposure to elevations and outdoor spaces. This should be a key consideration when reusing existing buildings. If elevations, roofs or spaces have a south facing aspect this should be retained to maximise light, reduce the necessity to use heating and provide outdoor spaces that benefit from sunlight for both the enjoyment of residents and the ability to grow fruit and vegetables.



An L Shaped building with the principal elevation facing south in to a courtyard space



Building orientated at a 45 degree angle with openings and outdoor space on the south side of the building

06 Next Steps

This document has set out an evidence base for the CNHW Neighbourhood Plan and it is recommended that the design guidance is embedded within the forthcoming plan as policy.

In addition to the design codes, the NPMG may also want to consider developing a masterplan for CNHW using the potential development sites reviewed in the draft Neighbourhood Plan. This will allow local opinion to be captured and reflected on appropriate housing densities and layouts as well as provide more certainty for the preferred development sites within the Neighbourhood Plan area.

As well as providing certainty to the local community, the design codes in this document should give more certainty to developers, as they will be able to design a scheme that is reflective of community aspirations, potentially speeding up the planning application process.

As well as using this document, future developers should also make sure that they have observed the guidance in the Ministry of Housing, Communities & Local Government's **National Design Guide**.

Developers should also note that housing developments of any size should strive to achieve carbon neutrality in line with the Government's forthcoming **Future Homes Standard**.

Further standards on residential developments should also be obtained from **Building Better, Building Beautiful**, a government-endorsed industry standard for well-designed homes and neighbourhoods.



Repurposed farm buildings, Holbeck

